

# DETAILED SKETCH ISSUE ONLY

## SENIORS HOUSING DEVELOPMENT

Lots 6, 7 & 8 in DP 35468  
17-21 Wardell Rd Alstonville NSW 2477



DRAWING SCHEDULE:

ARCHITECTURAL

| Type                            | Sheet No.  | Rev |
|---------------------------------|------------|-----|
| COVER PAGE                      | A 01 of 17 | P1  |
| BLOCK ANALYSIS PLAN             | A 02 of 17 | P1  |
| SITE ANALYSIS PLAN              | A 03 of 17 | P1  |
| DEMOLITION PLAN                 | A 04 of 17 | P1  |
| DEVELOPMENT DATA                | A 05 of 17 | P1  |
| SITE & GROUND FLOOR PLAN        | A 06 of 17 | P1  |
| FIRST FLOOR PLAN                | A 07 of 17 | P1  |
| ROOF PLAN                       | A 08 of 17 | P1  |
| ELEVATIONS                      | A 09 of 17 | P1  |
| ELEVATIONS                      | A 10 of 17 | P1  |
| SECTIONS                        | A 11 of 17 | P1  |
| SHADOW DIAGRAM - JUNE 21 9am    | A 12 of 17 | P1  |
| SHADOW DIAGRAM - JUNE 21 12noon | A 13 of 17 | P1  |
| SHADOW DIAGRAM - JUNE 21 3pm    | A 14 of 17 | P1  |
| SHADOW ELEVATIONS               | A 15 of 17 | P1  |
| VIEW FROM SUN DIAGRAMS          | A 16 of 17 | P1  |
| PERSPECTIVES                    | A 17 of 17 | P1  |

CIVIL

| Type                                 | Sheet No. | Rev |
|--------------------------------------|-----------|-----|
| STANDARD NOTES                       | SW 1 of 5 | -   |
| SITE DRAINAGE PLAN                   | SW 2 of 5 | -   |
| STORMWATER DETAILS                   | SW 3 of 5 | -   |
| OSD SECTION AND STORMWATER DETAILS   | SW 4 of 5 | -   |
| EROSION & SEDIMENTATION CONTROL PLAN | SW 5 of 5 | -   |
| CUT AND FILL PLAN                    | C 1 of 1  | -   |

HYDRAULIC

| Type                     | Sheet No. | Rev |
|--------------------------|-----------|-----|
| LEGEND & NOTES           | H 1 of 4  | A   |
| SITE / GROUND FLOOR PLAN | H 2 of 4  | A   |
| FIRST FLOOR PLAN         | H 3 of 4  | A   |
| ROOF PLAN                | H 4 of 4  | A   |

LANDSCAPE

| Type           | Sheet No. | Rev |
|----------------|-----------|-----|
| LANDSCAPE PLAN | L 1 of 1  | -   |

SURVEY

| Type          | Sheet No. | Rev |
|---------------|-----------|-----|
| DETAIL SURVEY | S 1 of 3  | 1   |
| DETAIL SURVEY | S 2 of 3  | 1   |
| DETAIL SURVEY | S 3 of 3  | 1   |

LOCATION PLAN:



LOCKED BAG 5022  
PARRAMATTA NSW 2124  
PHONE No 1800 738 718  
[www.dpie.nsw.gov.au/](http://www.dpie.nsw.gov.au/)  
land-and-housing-corporation



ARCHITECT  
**D T A Architects**  
PHONE No 1800 738 718

PROJECT MANAGER  
Land & Housing Corporation  
NORTHERN NSW REGION

DATE:  
**18/08/2023**  
  
DESIGN:  
**SKETCH**  
  
PROJECT No:  
**BGZDW**

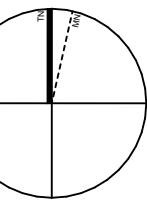
NOMINATED ARCHITECTS:  
**Daniel Donai**  
NSW ARB No.9068

0 5 10 20 40MM

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PURPOSE ONLY

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EXISTING 1 STOREY MULTI UNIT DEVELOPMENT.



EXISTING 1 STOREY MULTI UNIT DEVELOPMENT.



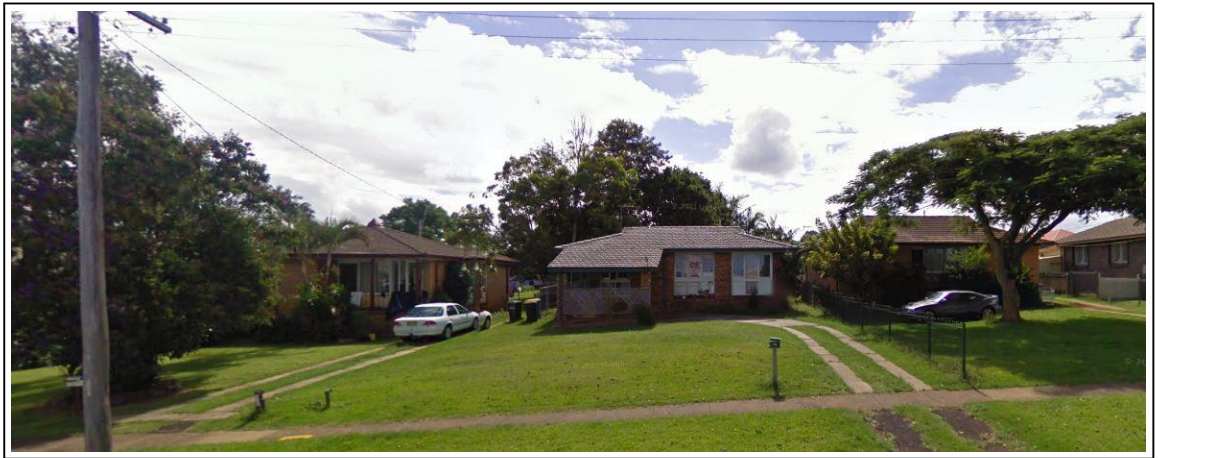
EXISTING 2 STOREY BUILDING.



EXISTING SHOPPING COMPLEX.



PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING



EXISTING 1 STOREY MULTI UNIT DEVELOPMENT.



EXISTING 2 STOREY BUILDING.



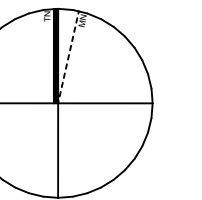
TYPICAL LOT DEVELOPMENT

#### LEGEND: BLOCK PLAN

PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING

BOUNDARY LINE TO LOTS OWNED BY OTHERS

**NOTE:**  
THERE IS NO TYPICAL LOT SIZE OR SHAPE IN THE VICINITY OF THE NEW DEVELOPMENT.



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| REV                                                                                      | DATE       | NOTATION/REMARKS    |
|------------------------------------------------------------------------------------------|------------|---------------------|
| P3                                                                                       | 18/08/2023 | DA                  |
| P2                                                                                       | 13/07/2023 | DRAFT DA            |
| P1                                                                                       | 15/06/2023 | DRAFT DA FOR REVIEW |
| REV                                                                                      | DATE       | NOTATION/REMARKS    |
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NORTHERN NSW REGION

PROJECT:  
**SENIORS HOUSING DEVELOPMENT**  
at  
**Lots 6, 7 & 8 in DP 35468**  
**17-21 Wardell Rd Alstonville NSW 2477**

TITLE:  
**BLOCK ANALYSIS PLAN**

FILE: CAD File: BIMcloud: TeamWorkPC - BIMcloud  
Basis: for Archicad 26/2022.033 LAHC: Wardell Rd, Alstonville SK03.CC3

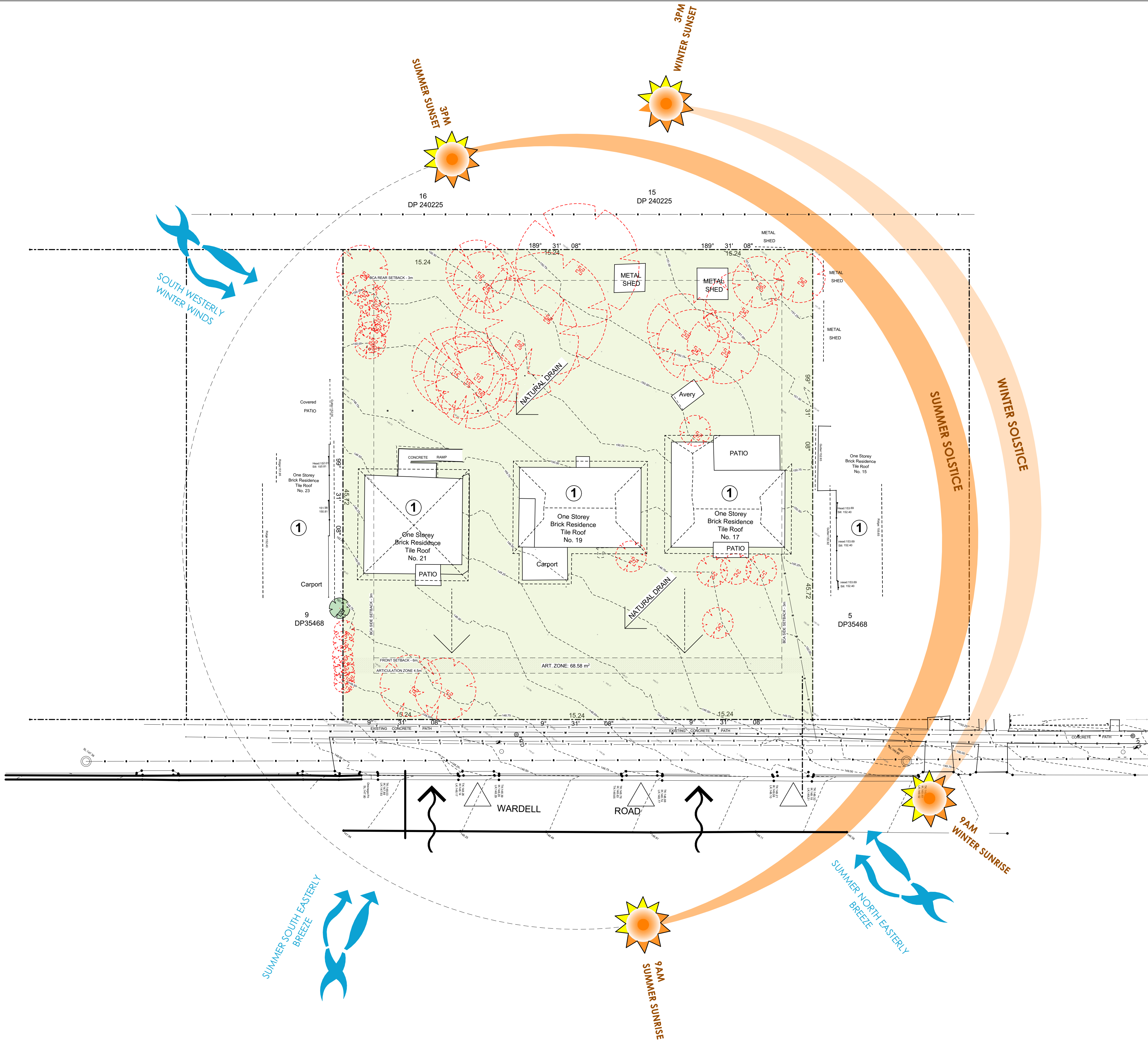
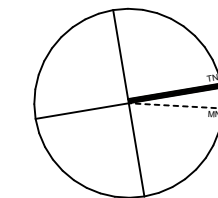
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|-------------------------|------------------------------|------------------|-------------------------|
| DATE<br>18/08/2023      | SCALE<br>As shown @ A1       | PROJ<br>BGZDW    | JOB<br>2022.033         |
| STAGE<br>B              | DRAWN<br>SD                  | CHECKED<br>DD    | CERTIFIER<br>DD         |
| FILE                    | PLOTTED: 18/08/2023 12:38 PM | TYPE<br><b>A</b> | SHEET<br><b>2 of 17</b> |
|                         |                              |                  | REV:<br><b>P3</b>       |

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| SITE ANALYSIS LEGEND |                                 |
|----------------------|---------------------------------|
|                      | BOUNDARY                        |
|                      | EXISTING BUILDINGS              |
|                      | PROPOSED SITE                   |
|                      | NEIGHBOURING PRIVATE OPEN SPACE |
|                      | EXISTING TREES TO REMAIN        |
|                      | EXISTING TREES TO BE REMOVED    |
|                      | OVERLOOKING                     |
|                      | EXISTING CONTOURS               |
|                      | ACCESS TO SITE                  |
|                      | VIEWS                           |
|                      | NOISE SOURCE                    |
|                      | NUMBER OF STOREYS               |
|                      | OVERHEAD POWERLINE              |
|                      | UNDERGROUND SEWER               |

1

SITE ANALYSIS PLAN

1:200



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Land & Housing Corporation  
NORTHERN NSW REGION

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TITLE:  
**SITE ANALYSIS PLAN**

|       |            |       |               |         |       |           |          |
|-------|------------|-------|---------------|---------|-------|-----------|----------|
| DATE  | 18/08/2023 | SCALE | As shown @ A1 | PROJ    | BGZDW | JOB       | 2022.033 |
| STAGE | B          | DRAWN | SD            | CHECKED | DD    | CERTIFIER | DD       |

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Based on Archicad 26/2022.033 LAHC: Wardell  
Rd, Alstonville, SK03.CC3

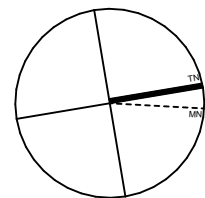
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| A          | 3 of 17       |                 | P3         |  |  |

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#### LEGEND - DEMOLITION

--- EXTENT OF SITE BOUNDARY

EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.

EXISTING SITE WORKS TO BE REMOVED / DEMOLISHED

EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.

EXISTING TREES TO BE REMOVED. REFER ALSO TO LANDSCAPE DRAWING.

EXISTING LEVELS

PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

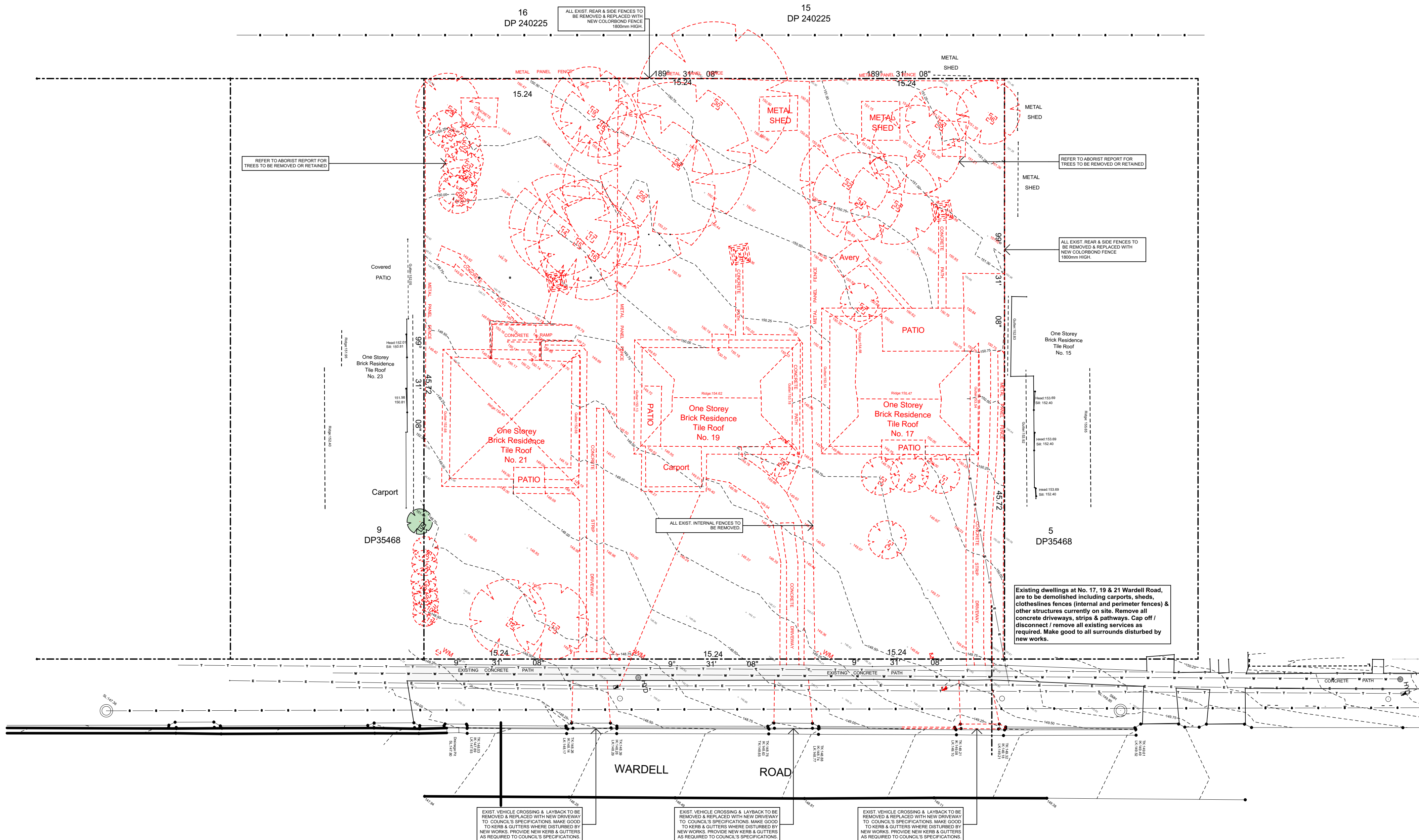
NB: CARE MUST BE TAKEN WHILE CARRYING OUT THE WORKS.

PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.

REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS.

BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.



1  
-

DEMOLITION PLAN  
1:200



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BUSINESS PARTNER:



Land & Housing Corporation  
NORTHERN NSW REGION

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at  
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TITLE:  
**DEMOLITION PLAN**

FILE: CAD File: BIMcloud: TeamWorkPC - BIMcloud  
Basic: for Archical 26/02/22 033 LAHC Wardell  
Rd, Alstonville SK03.CC3

PLOTTED: 18/08/2023  
12:39 PM

STATUS: DETAILED SKETCH

| DATE       | SCALE         | PROJ    | JOB       |
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| 18/08/2023 | As shown @ A1 | BGZDW   | 2022.033  |
| STAGE      | DRAWN         | CHECKED | CERTIFIER |
| B          | SD            | DD      | DD        |

TYPE:

SHEET:

REV:

A

4 of 17

P3

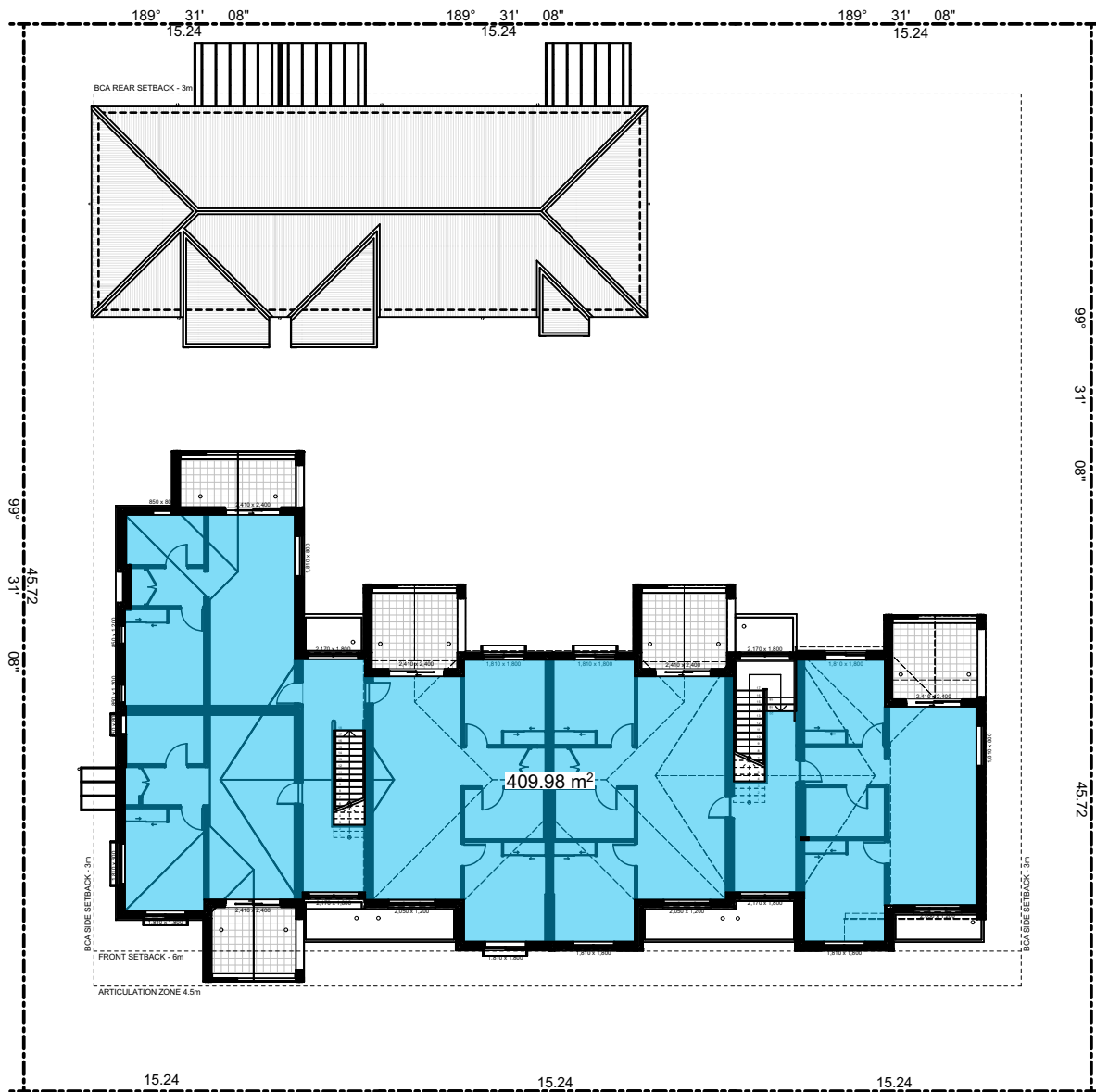
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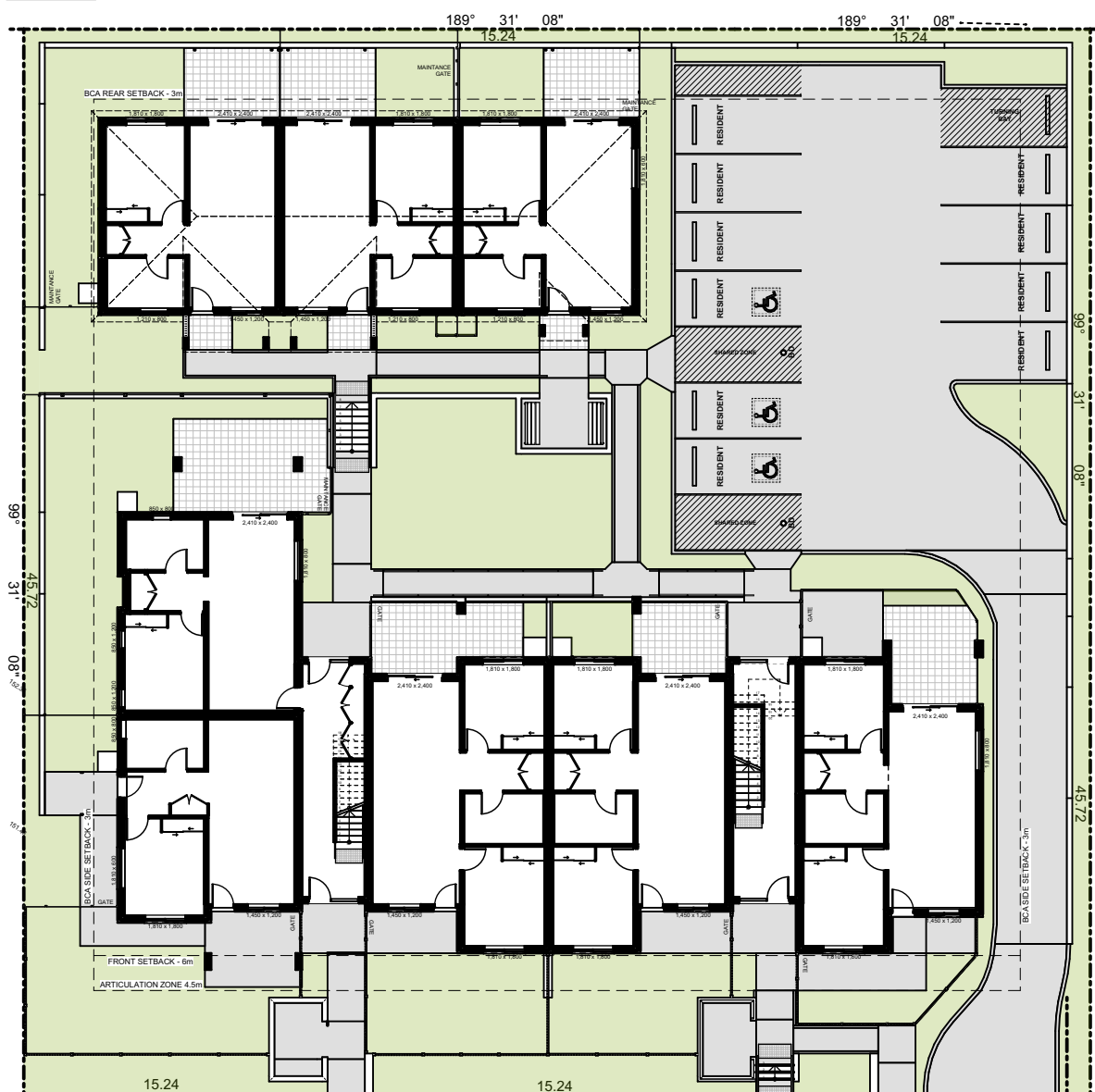
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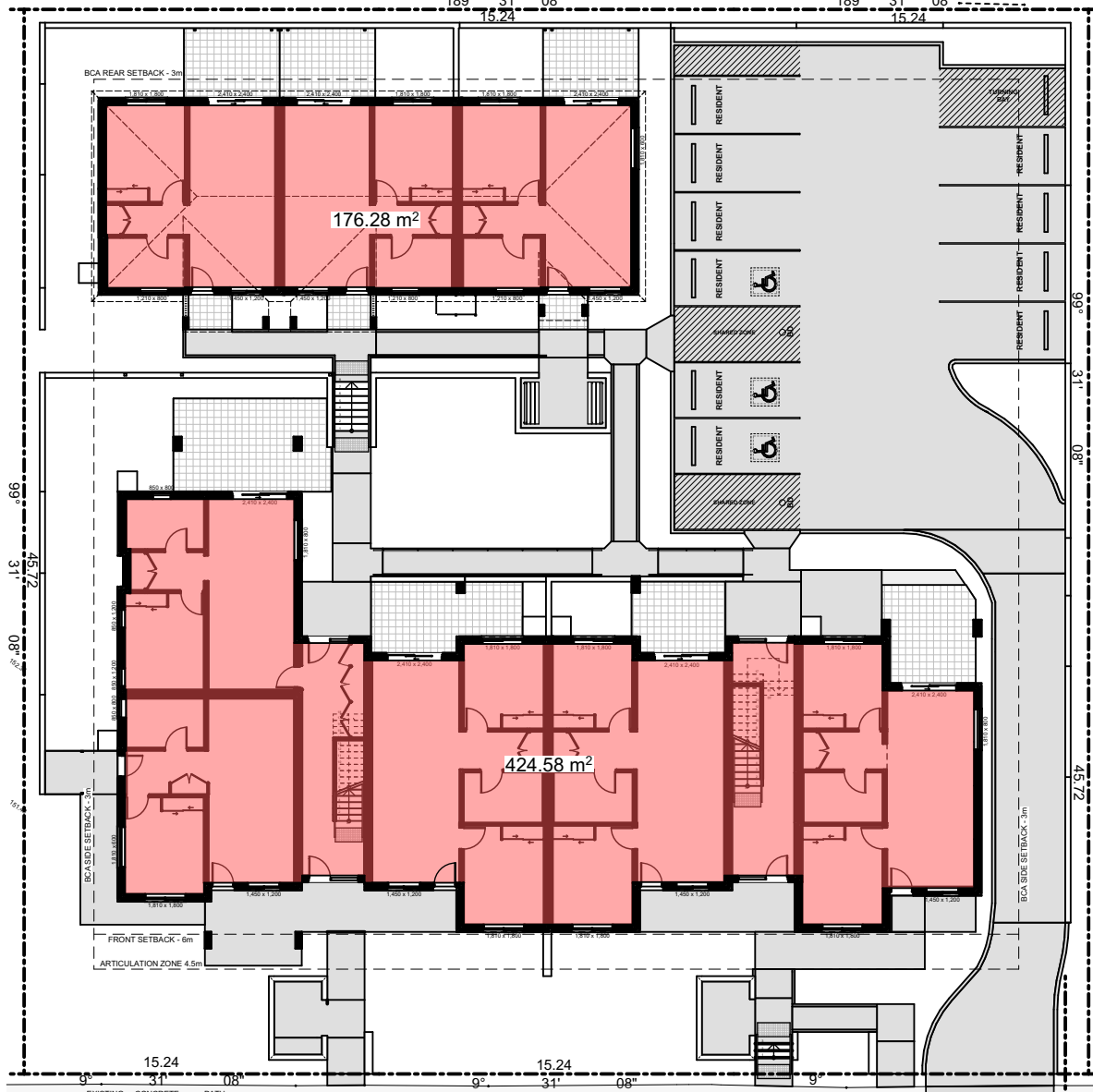
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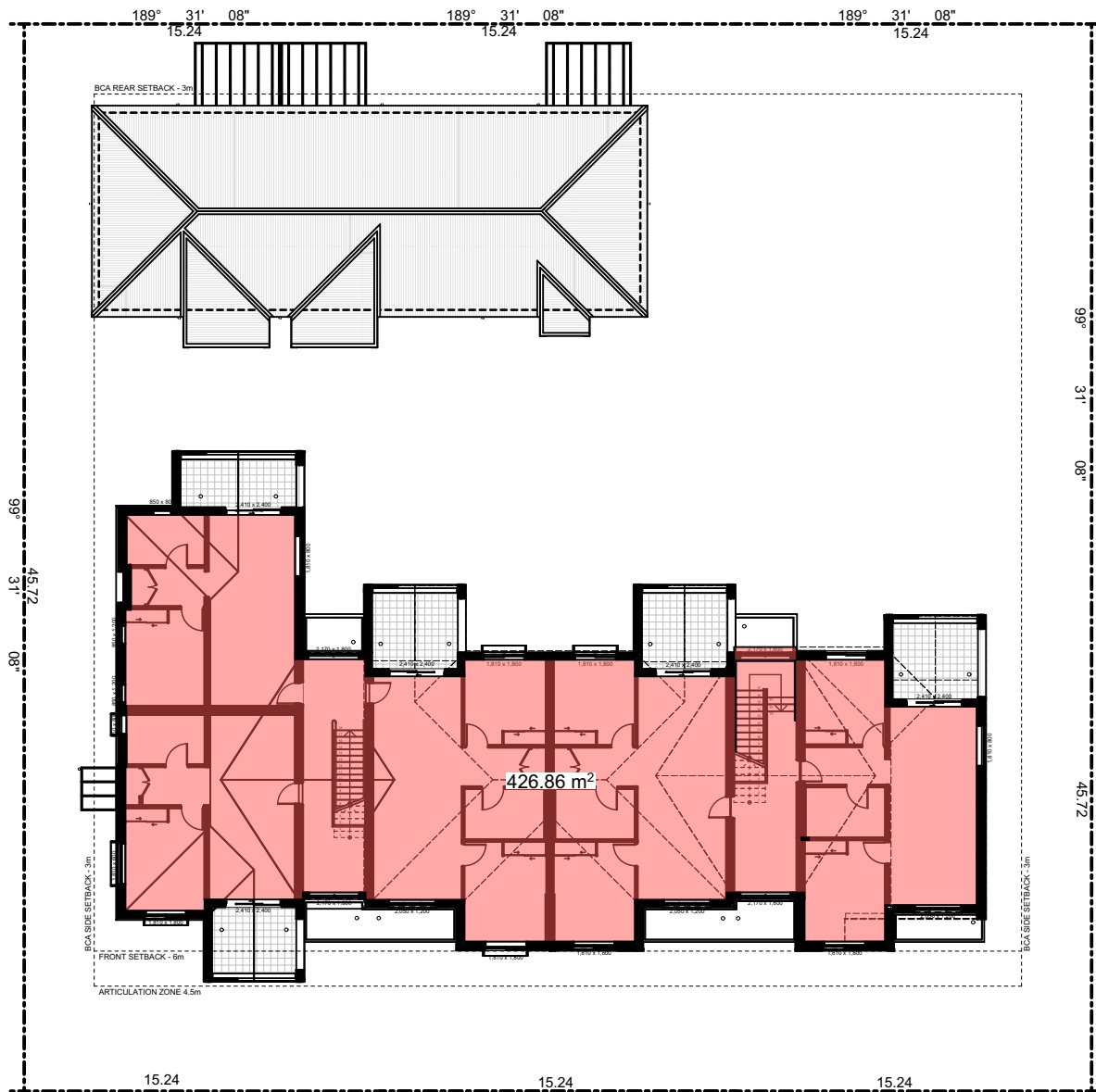
4 DEVELOPMENT DATA - FF FSR (LEP) 1:300



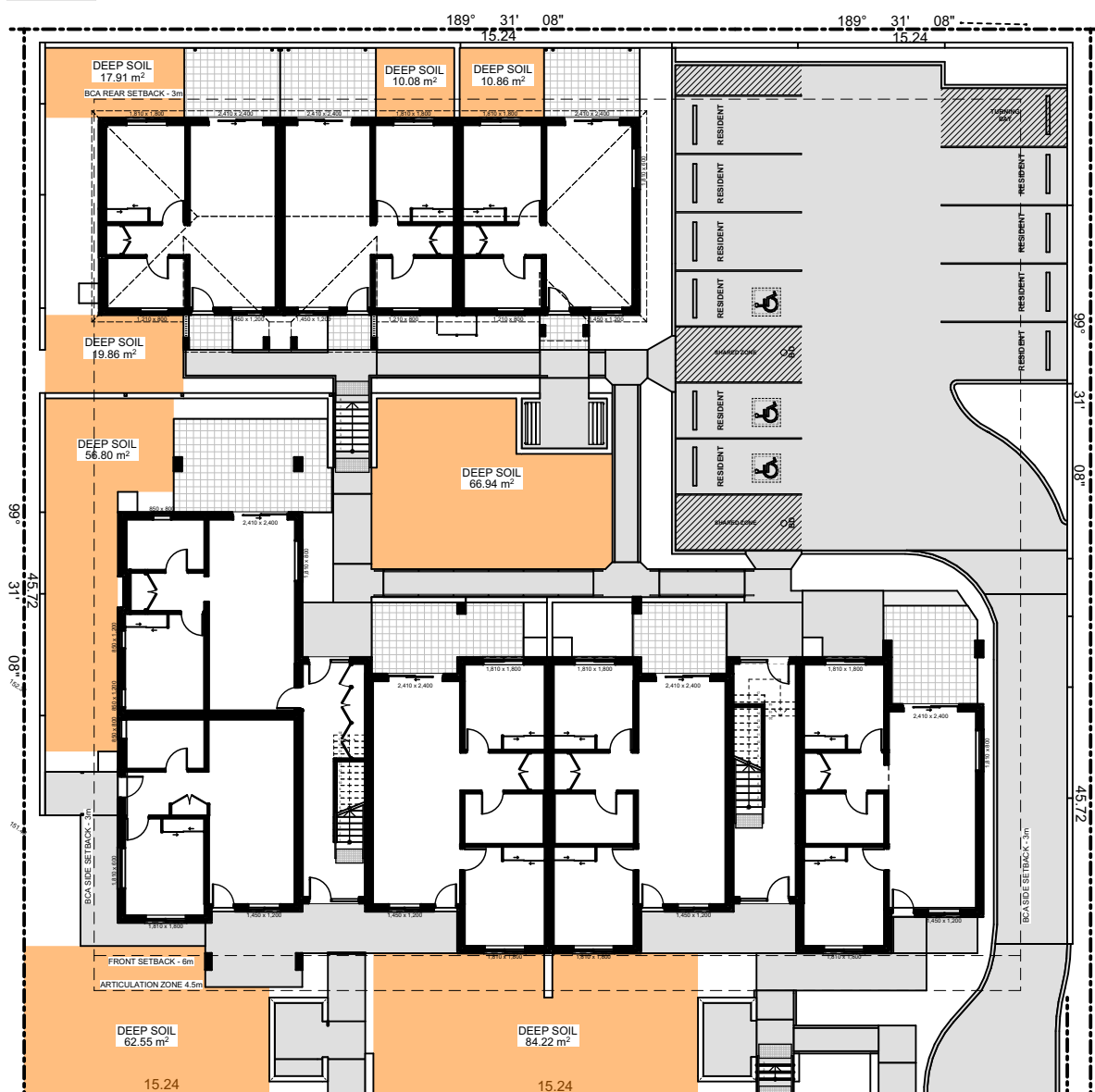
7 DEVELOPMENT DATA - GF LANDSCAPE 1:300



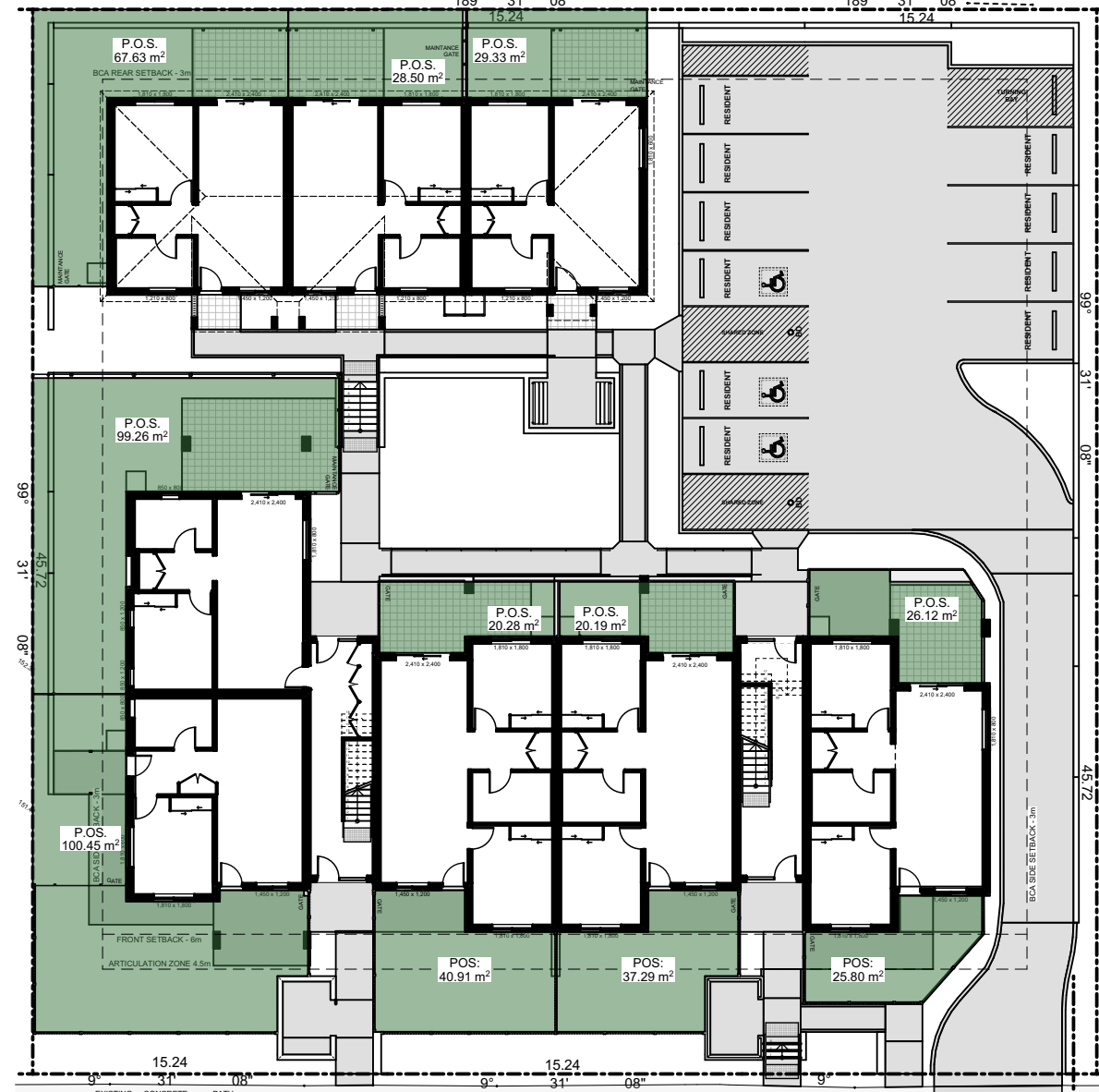
2 DEVELOPMENT DATA - GF FSR (SEPP) 1:300



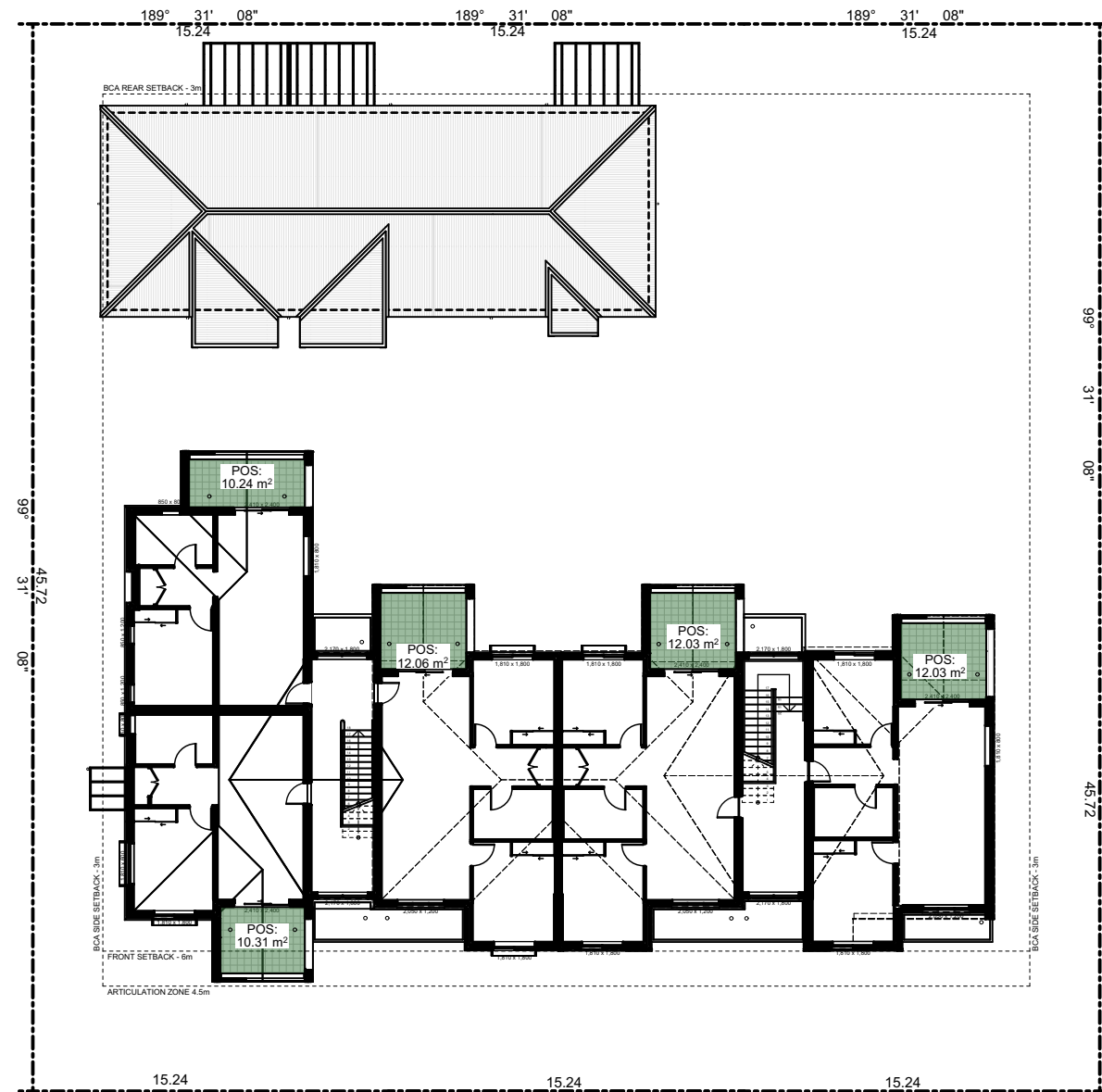
5 DEVELOPMENT DATA - FF FSR (SEPP) 1:300



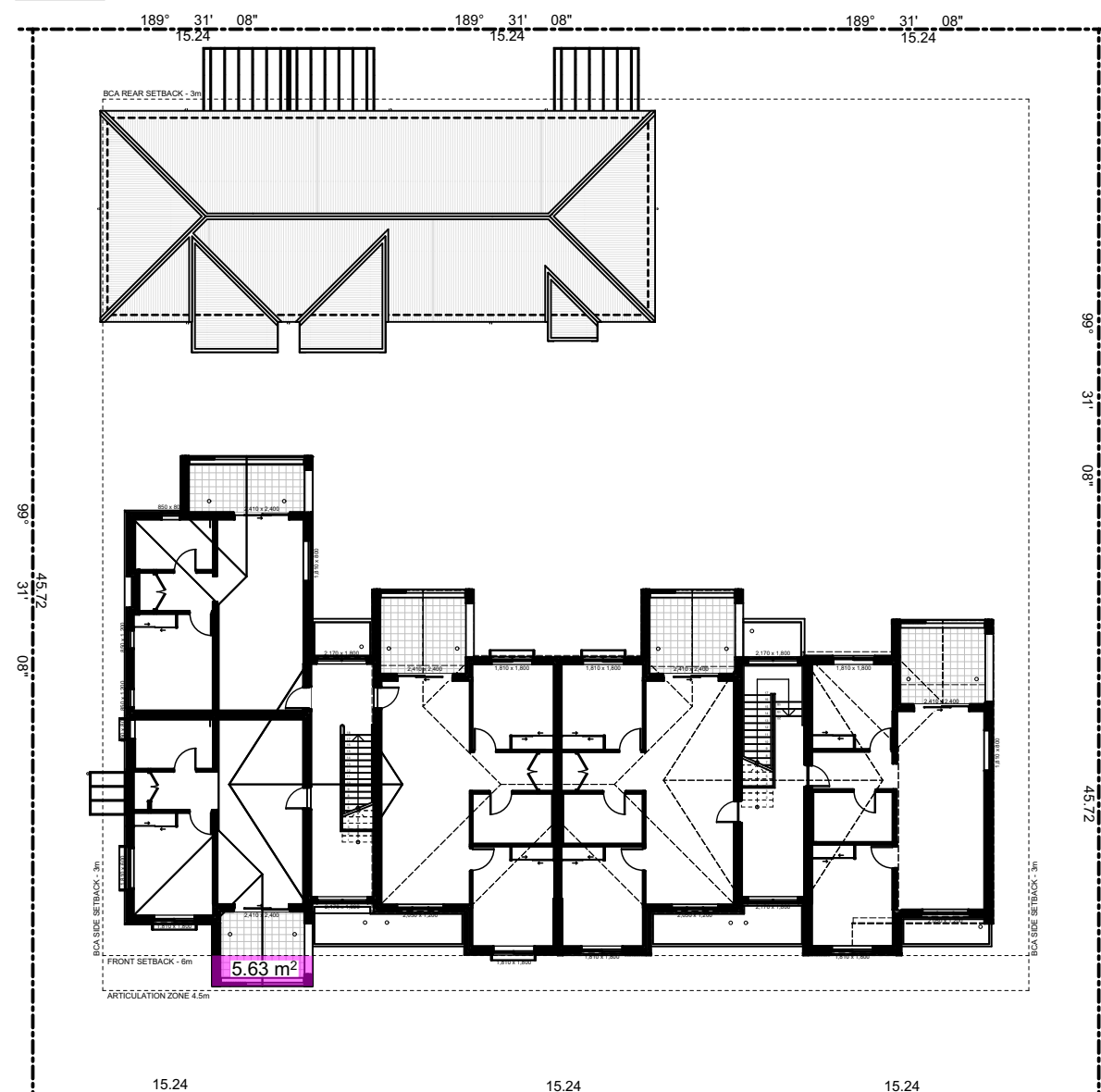
8 DEVELOPMENT DATA - GF DEEP SOIL 1:300



3 DEVELOPMENT DATA - GF POS 1:300



6 DEVELOPMENT DATA - FF POS 1:300



9 DEVELOPMENT DATA - FF ART. ZONE 1:300

| DEVELOPMENT DATA        |                                              |                        |                                                                                |                                                  |
|-------------------------|----------------------------------------------|------------------------|--------------------------------------------------------------------------------|--------------------------------------------------|
| Site Area               | 2086.66 m <sup>2</sup>                       |                        |                                                                                |                                                  |
| Number of existing lots | 3                                            |                        |                                                                                |                                                  |
| Number of dwellings     | 13 units - 6 x 2bed + 7 x 1bed (46:54 ratio) |                        |                                                                                |                                                  |
|                         | Control                                      |                        | Requirement                                                                    | Provided                                         |
| Proposed FSR            | HOUSING SEPP                                 |                        | 0.5:1                                                                          | 1005.19m <sup>2</sup><br>0.48:1                  |
|                         | BALLINA LEP                                  |                        | n/a                                                                            | 988.09m <sup>2</sup><br>0.47:1                   |
| Building Height         | BALLINA LEP                                  |                        | 8.5                                                                            | 8.5m                                             |
|                         | HOUSING SEPP                                 |                        | 9.5m                                                                           | 8.5m                                             |
| Setbacks                | BALLINA DCP                                  | Front                  | Primary - 6m<br>Secondary - 4m                                                 | Primary - 6.0m                                   |
|                         |                                              | Side                   | 45° plane from the boundary at 1.8m high                                       | 3.2m (U11)<br>4m (U1&2)                          |
|                         |                                              | Rear                   | 45° plane from the boundary at 1.8m high                                       | 3.8m                                             |
|                         |                                              | Art. Zone              | 4.5m (structures <25% of art zone)                                             | 5.63m - 9.4%                                     |
| Car parking             | LAHC                                         | 8.5 (0.5/1bed ,1/2bed) |                                                                                | 10                                               |
|                         | HOUSING SEPP                                 | 3 (1/5 dwellings)      |                                                                                |                                                  |
| Landscaping             | HOUSING SEPP                                 |                        | 35m <sup>2</sup> / unit (455m <sup>2</sup> )                                   | 604.00m <sup>2</sup>                             |
|                         |                                              |                        | 15% of site = 313m <sup>2</sup>                                                | 329.22m <sup>2</sup>                             |
| Deep Soil               | HOUSING SEPP                                 |                        | preferably 65% deep soil to rear = 203.5m <sup>2</sup>                         | 182.45m <sup>2</sup>                             |
| Solar Orientation       | HOUSING SEPP                                 |                        | 70% of dwellings to receive 2 hours of sunlight between 9am and 3pm mid winter | Living - 75% (10 units)<br>POS - 100% (13 units) |

| STORAGE         |                     |                          |                                             |                            |                            |                            |                     |                     |
|-----------------|---------------------|--------------------------|---------------------------------------------|----------------------------|----------------------------|----------------------------|---------------------|---------------------|
| Dwelling Number | Pantry (600mm wide) | Drawer (min. 450mm wide) | Fridge Space (800mm - 1 bed) 900mm - 2 bed) | D/W provision (600mm wide) | Linen min. 600x450 mm wide | Broom min. 600x450 mm wide | Bed 1 (1.8m x 0.6m) | Bed 1 (1.5m x 0.6m) |
| 1               | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 2               | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 3               | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 4               | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 5               | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 6               | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 7               | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 8               | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 9               | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 10              | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 11              | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 12              | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |
| 13              | ✓                   | ✓                        | ✓                                           | ✓                          | ✓                          | ✓                          | ✓                   | ✓                   |

| NCC 2022 NATHERS Thermal Performance Specification - Alstonville                                                                                                                    |                         |                                     |                                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-------------------------------------|------------------------------------------|
| Wall Type                                                                                                                                                                           | Insulation              | External Walls Colour               | Comments                                 |
| Cavity brick                                                                                                                                                                        | R0.7                    | Med - SA 0.475 - 0.70               | As per elevations                        |
| Metal Cladding                                                                                                                                                                      | R2.5                    | Med - SA 0.475 - 0.70               | As per elevations                        |
| SA - Solar Absorbance                                                                                                                                                               |                         |                                     |                                          |
| Wall Type                                                                                                                                                                           | Insulation              | Internal Walls                      | Comments                                 |
| Single skin brick                                                                                                                                                                   | None                    | Internally in units (Ground floor)  |                                          |
| Plasterboard stud                                                                                                                                                                   | None                    | Internally in units (Level 1)       |                                          |
| Cavity brick                                                                                                                                                                        | None                    | Shared walls with units/lobbies     |                                          |
| Floor Type                                                                                                                                                                          | Insulation              | Floors                              | Comments                                 |
| Concrete                                                                                                                                                                            | None                    | Throughout                          |                                          |
| Concrete                                                                                                                                                                            | None                    | All units with adjoining unit below |                                          |
| Ceiling Type                                                                                                                                                                        | Insulation              | Ceilings                            | Comments                                 |
| Plasterboard                                                                                                                                                                        | None                    | Unit above                          |                                          |
| Plasterboard                                                                                                                                                                        | R2.5                    | Roof/fair above                     |                                          |
| Insulation loss due to downlights has been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.                     |                         |                                     |                                          |
| Roof Type                                                                                                                                                                           | Insulation              | Roof Colour                         | Comments                                 |
| Metal                                                                                                                                                                               | R1.3 foil-faced blanket | Med - SA 0.475 - 0.70               | Throughout (ventilated cavity)           |
| SA - Solar Absorbance                                                                                                                                                               |                         |                                     |                                          |
| Opening type                                                                                                                                                                        | U-Value                 | SHGC                                | Glazing & Frame Type                     |
| Sliding + Fixed (Throughout)                                                                                                                                                        | 5.4                     | 0.58                                | e.g. Single glazed clear Aluminium frame |
| Awning (Throughout)                                                                                                                                                                 | 5.4                     | 0.49                                | e.g. Single glazed clear Aluminium frame |
| U and SHGC values are based on the APRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value 1% of the above specified values. |                         |                                     |                                          |
| Ceiling fan                                                                                                                                                                         | Location                | Comments                            |                                          |
| Size 1200mm in diameter                                                                                                                                                             | Living and bedrooms     | Throughout                          |                                          |

| BASIS REQUIREMENTS                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| All Dwellings: <ul style="list-style-type: none"><li>- Shower to have a min rating of 4 stars (&lt;4.5 but &lt;=6.0 L/min)</li><li>- Toilet flushing system to have a min rating of 4 stars</li><li>- Taps for kitchens and bathrooms to have a min rating of 5 stars</li><li>- Hot water units to be electric heat pump to ground floor units and solar electric boosted to first floor units.</li><li>- Provide electric cooktop and electric oven to all units</li></ul> | Common Areas: <ul style="list-style-type: none"><li>- Rainwater tank to be a min of 4,000 Litres and be of a central rain water tank, collecting a min of 400sqm of roof area.</li><li>- Landscape connection to all ground floor units and common landscape area. Toilet connection to all units.</li><li>- Solar panels to be provided with a min electrical output of 15 peak kW</li></ul> |



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Daniel Donal  
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| REV | DATE       | NOTATION/AMENDMENT  |
|-----|------------|---------------------|
| P3  | 18/08/2023 | DA                  |
| P2  | 13/07/2023 | DRAFT DA            |
| P1  | 15/06/2023 | DRAFT DA FOR REVIEW |
| REV |            |                     |

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PROJECT:  
  
SENIORS HOUSING DEVELOPMENT  
  
at  
Lots 6, 7 & 8 in DP 35468  
17-21 Wardell Rd Alstonville NSW 2477

TITLE  
DEVELOPMENT DATA

FILE: CAD File: BIMcloud: TeamWorkPC: BIMcloud  
Basis for Archival: 26/02/2022 033 LAHC: Wardell  
Rd, Alstonville, SK003.CC3

PLOTTED: 18/08/2023  
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DATE: 18/08/2023  
SCALE: As shown @ A1  
STAGE: B  
DRAWN: SD  
CHECKED: DD  
TYPE: SHEET  
  
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A 5 of 17 P3



0 5 10 20 40MM

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PROVIDE TRAFFICABLE LYSAGHT OR STRATCO CARPORT SYSTEM, POSTS & SUPPORTS. TRAFFICABLE TRANSPARENT SHEET ROOFING OVER. POWDERCOAT FINISH. INSTALL TO MANUFACTURER'S DETAILS.

SELECTED COLORBOND DOWNPIPES & GUTTERS. REFER TO FINISHES SCHEDULE

PROVIDE TRAFFICABLE LYSAGHT OR STRATCO CARPORT SYSTEM, POSTS & SUPPORTS. TRAFFICABLE TRANSPARENT SHEET ROOFING OVER. POWDERCOAT FINISH. INSTALL TO MANUFACTURER'S DETAILS.

LINE OF BUILDING BELOW SHOWN DOTTED

SELECTED COLORBOND DOWNPIPES & GUTTERS. REFER TO FINISHES SCHEDULE

#### SITE LEGEND

- 1 BED
- 2 BED
- PRIVATE OPEN SPACE (POS)
- LANDSCAPE AREA
- DRIVEWAY, FOOT PATH & PAVED AREA
- DEEP SOIL ZONE
- CERAMIC TILE (NS-CT)
- BRICK RETAINING WALL
- EX.TREES TO BE RETAINED
- EX. TREES TO BE REMOVED
- OVERHEAD POWERLINE
- UNDERGROUND SEWER
- EXISTING LEVELS AS PER SURVEY DETAILS
- NEW LEVELS TO CIVIL ENGINEERS DETAILS
- HOSE TAP REFER TO HYDRAULIC ENGINEERS DETAILS

#### LEGEND

- AB ARMCO BARRIER
- ABH ARMCO BARRIER WITH HANDRAIL
- ANG CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
- ANG-1 CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
- B STEEL PROTECTIVE BOLLARDS REFER TO DETAILS
- B-1 VANITY BASIN
- B-2 WALL HUNG BASIN - DISABLE COMPLIANT
- B-3 WALL HUNG BASIN
- BC BATTERY CHARGE
- BF BACK FLASHING
- BFC BROOM FINISHED CONCRETE
- C CARPET AS SPECIFIED
- CAP CEILING ACCESS PANEL
- CH CLOTHES HOOK
- CR CEMENT RENDERED FINISH
- CS CLEANERS SHELF
- CT CERAMIC TILES
- CW COMPLETE WITH
- DB ELECTRICAL DISTRIBUTION BOARD
- DP DOWNPIPE - COLORBOND
- DPS DOWNPIPE & SPREADER - COLORBOND
- DT DOOR THRESHOLD REFER TO DETAIL
- DW DISHWASHER AS SPEC
- EAC EXPOSED AGGREGATE CONCRETE
- EDB ELECT. DISTRIBUTION BOARD. REFER TO ELECT. DOCUMENTS
- EF EXHAUST FAN
- EG EAVES GUTTER
- EW EYE WASH
- F FIXED GLASS
- FG FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
- FIR FIR INDICATOR PANEL (LOCATED MAIN ENTRY)
- FIP RECESSED FLOOR MAT
- FM FLOOR WASTE
- GD GRATED DRAIN
- GPO-S SINGLE GENERAL PURPOSE OUTLET
- GPO-D DOUBLE GENERAL PURPOSE OUTLET
- GRB GOAL POST BOLLARDS
- GR GRAB RAIL
- HD HAND DRYER
- HTH HEATED THRESHOLD
- HWU HOT WATER UNIT
- HYD HYDRANT REFER TO HYDRAULIC ENGINEERS DETAILS
- LC LAMINATED BENCH TOP & CUPBOARDS
- LK LOCKERS
- M MIRROR
- MSB ELECTRICAL MAIN SWITCH BOARD
- MW MICROWAVE OVEN AS SPEC.
- MF1 METAL FENCE MF1-1200mm IN HEIGHT
- MF2 METAL FENCE MF2-1500mm IN HEIGHT
- MF3 METAL FENCE MF3-1800mm IN HEIGHT
- NS-CT NON-SLIP CERAMIC TILE
- OF OVERFLOW
- PB PLASTERBOARD LINING
- PTD PAPER TOWEL DISPENSER
- RH RANGE HOOD
- RM RECESSED ENTRY MAT
- SCR SHOWER CURTAIN RAIL
- SC COLUMN TO STRUCTURAL ENGINEERS DETAILS
- SD SOAP DISPENSER
- SH WALL SHELF
- SK SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
- SK-1 STAINLESS STEEL SINK
- SK-2 CLEANER SINK
- SMP BOX GUTTER SUMP & OVERFLOW
- STF STEEL TROVEL FINISHED CONCRETE
- TGSI TACTILE INDICATOR
- TG TRENCH / GRATED DRAIN
- TH THRESHOLD RAMP
- TIM TIMBER FLOORING
- TP TOILET PARTITIONS
- TPH TOILET PAPER HOLDER
- TRS TRANSLUCENT ROOF SHEETING
- TS-1 TAP SET - WASHROOMS
- TS-2 TAP SET - DISABLE COMPLIANT
- TS-3 TAP SET - KITCHEN
- TS-4 TAP SET - CLEANERS
- US MOP & BROOM SHELF
- V VENT PIPE
- VP REFER TO HYDRAULIC DOCUMENTS
- VTY VANITY UNIT
- WB WORK BENCH
- WC-1 TOILET PAN / SUITE
- WC-2 TOILET PAN / SUIT DIT DISABLE COMPLIANT
- WC-3 TOILET PAN / SUITE AMBULANT
- WG WHEEL GUIDE
- WT WASH TROUGH
- WU-1 WALL HUNG URINAL
- WS WHEEL STOP
- XP EPOXY FLOORING

1

FIRST FLOOR PLAN  
1:100



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#### NOMINATED ARCHITECTS:

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NSW ARB No.9068

Member  
Architects

| REV | DATE       | NOTATION/REMARK     |
|-----|------------|---------------------|
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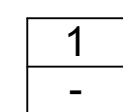
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TITLE:  
FIRST FLOOR PLAN

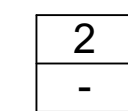
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| A          | 7 of 17       | P3      |           |       |      |

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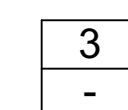




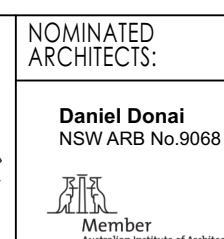
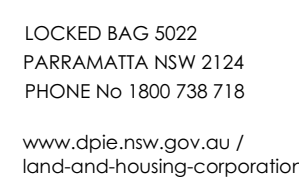
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| P3                                                                                          | 18/08/2023 | DA                  |
| P2                                                                                          | 13/07/2023 | DRAFT DA            |
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PROJECT:

**SENIORS HOUSING DEVELOPMENT**

at  
**Lots 6, 7 & 8 in DP 35468**  
**17-21 Wardell Rd Alstonville NSW 2477**

FILE: CAD File: BIMcloud: TeamWorkPC - BIMcloud  
Basic for Archicad 26/2022.033.LAHC.Wardell  
Rd, Alstonville.SK03.CC3

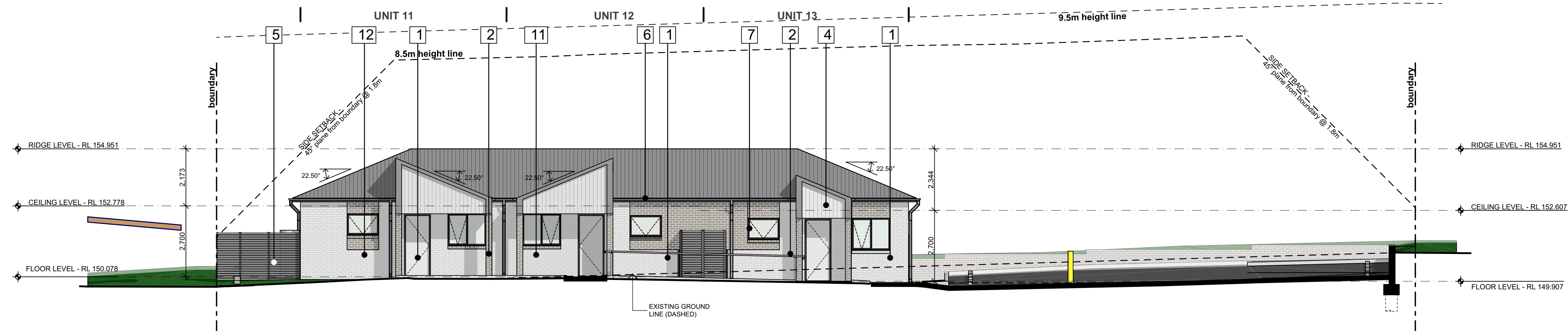
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|          |                                    | DATE:<br>18/08/2023     | SCALE:<br>As shown @ A1 | PROJ.:<br>BGZDW | JOB:<br>2022.033 |
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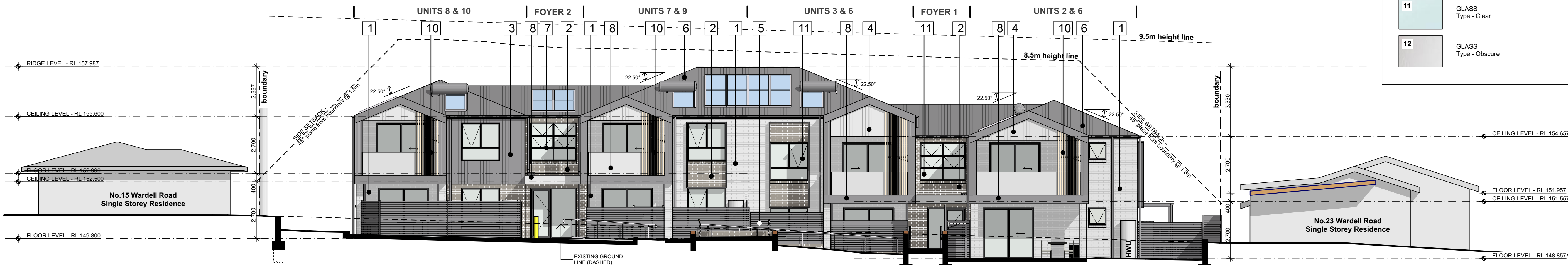


EASTERN INTERNAL ELEVATION

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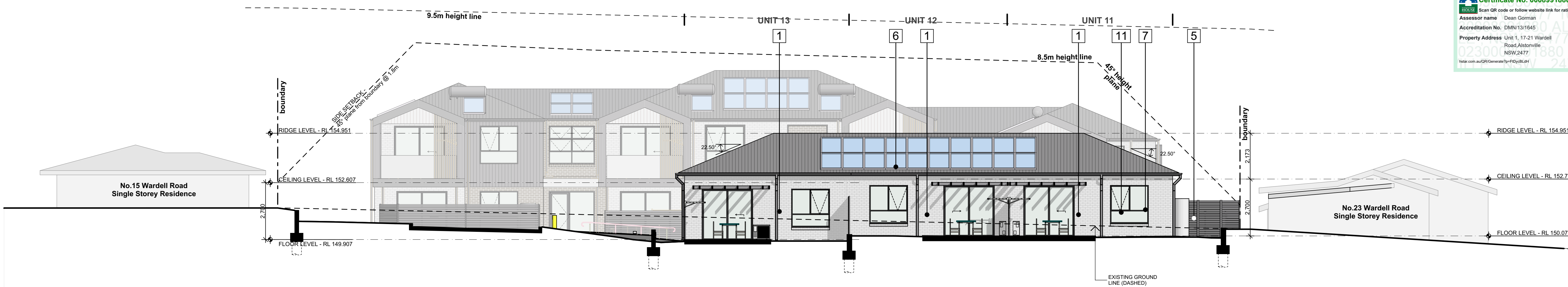
### EXTERNAL FINISHES SCHEDULE

|    |                                                                                                                                                  |
|----|--------------------------------------------------------------------------------------------------------------------------------------------------|
| 1  | WALL (FBK1) - Face Brick Type 1<br>AUSTRAL: Range -Hamptons, Name -<br>Whitehaven                                                                |
| 2  | WALL (FBK2) - Face Brick Type 2<br>AUSTRAL: Range -Mineral Contours, Name<br>- Mica Grey                                                         |
| 3  | WALL CLADDING (MC1) - Metal Wall Cladding<br>Longline, Colour - Basalt Matt                                                                      |
| 4  | WALL CLADDING (MC2) - Metal Wall Cladding<br>Austek weatherboard, Colour - Dover White Matt                                                      |
| 5  | COURTYARD FENCE & FRONT<br>METAL FENCE (MF)<br>Aluminium Powdercoat - Basalt                                                                     |
| 6  | ROOF CLADDING (SMR) - Metal Roof Cladding<br>Longline, Colour - Basalt Matt                                                                      |
| 7  | WINDOW / DOOR FRAMES<br>Aluminium Powdercoat - White                                                                                             |
| 8  | PAINT FINISH CONCRETE<br>Balcony & Awning concrete edges, all exposed<br>concrete edges. Paint Finish, "Stainproof"<br>Colour: Dulux Vivid White |
| 9  | SOFFIT<br>Eaves, Balcony & Awnings<br>Paint Finish.<br>Colour: Dulux Vivid White                                                                 |
| 10 | BATTEN PRIVACY SCREEN (PS)<br>Decobatten - Aluminium<br>Colour - Snow Gum                                                                        |
| 11 | GLASS<br>Type - Clear                                                                                                                            |
| 12 | GLASS<br>Type - Obscure                                                                                                                          |



WESTERN INTERNAL ELEVATION

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NSW ARB No.9068



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PROJECT:  
**SENIORS HOUSING DEVELOPMENT**  
at  
**Lots 6, 7 & 8 in DP 35468**  
**17-21 Wardell Rd Alstonville NSW 2477**

TITLE:  
**ELEVATIONS**

FILE: CAD File: BIMcloud: TeamWorkPC - BIMcloud  
Base: for Archicad 26/2022.033 LAHC-Wardell  
Rd, Alstonville SK03.CC3

STATUS:  
DATE: 18/08/2023  
STAGE: B  
TYPE: A  
PLOTTED: 18/08/2023  
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DETAILED SKETCH  
SCALE: As shown @ A1  
DRAWN: SD  
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SHEET: 10 of 17

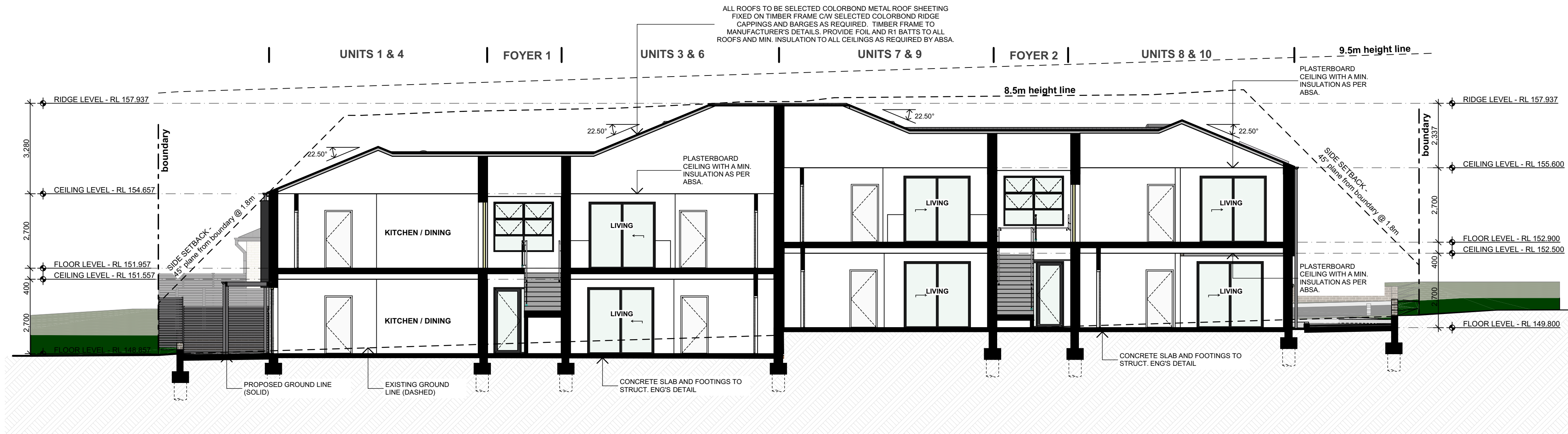
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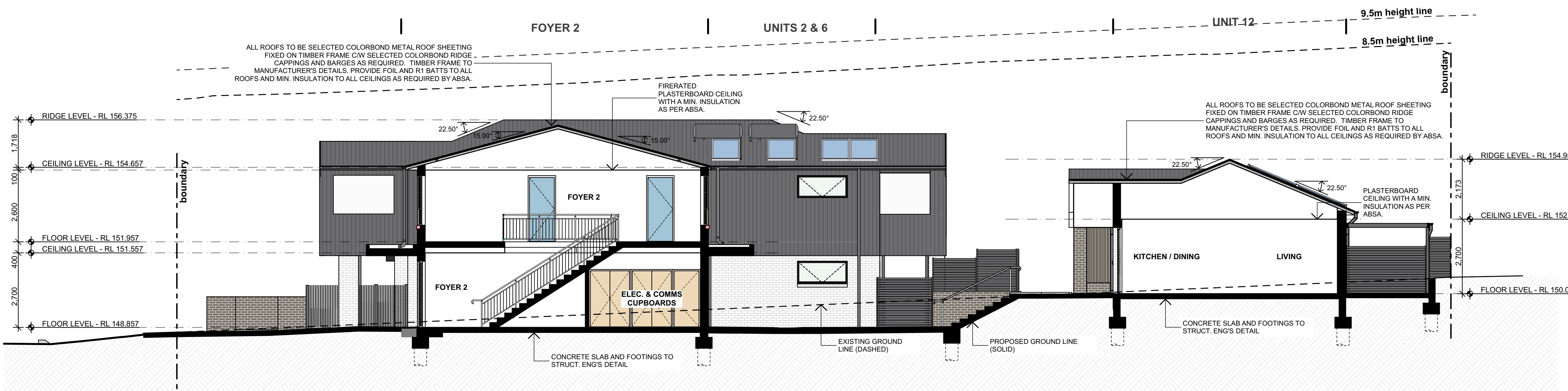
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2  
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SECTION  
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NSW ARB No.9068



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**SENIORS HOUSING DEVELOPMENT**  
at  
**Lots 6, 7 & 8 in DP 35468**  
**17-21 Wardell Rd Alstonville NSW 2477**

TITLE:  
**SECTIONS**

FILE: CAD File: BIMcloud: TeamWorkPC: BIMcloud  
Base: for Archical 26/02/22 033 LAHC Wardell  
Rd, Alstonville SK03.CC3

STATUS:  
DATE: 18/08/2023  
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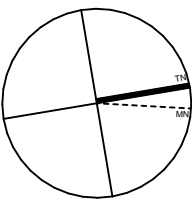
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CERTIFIER: DD  
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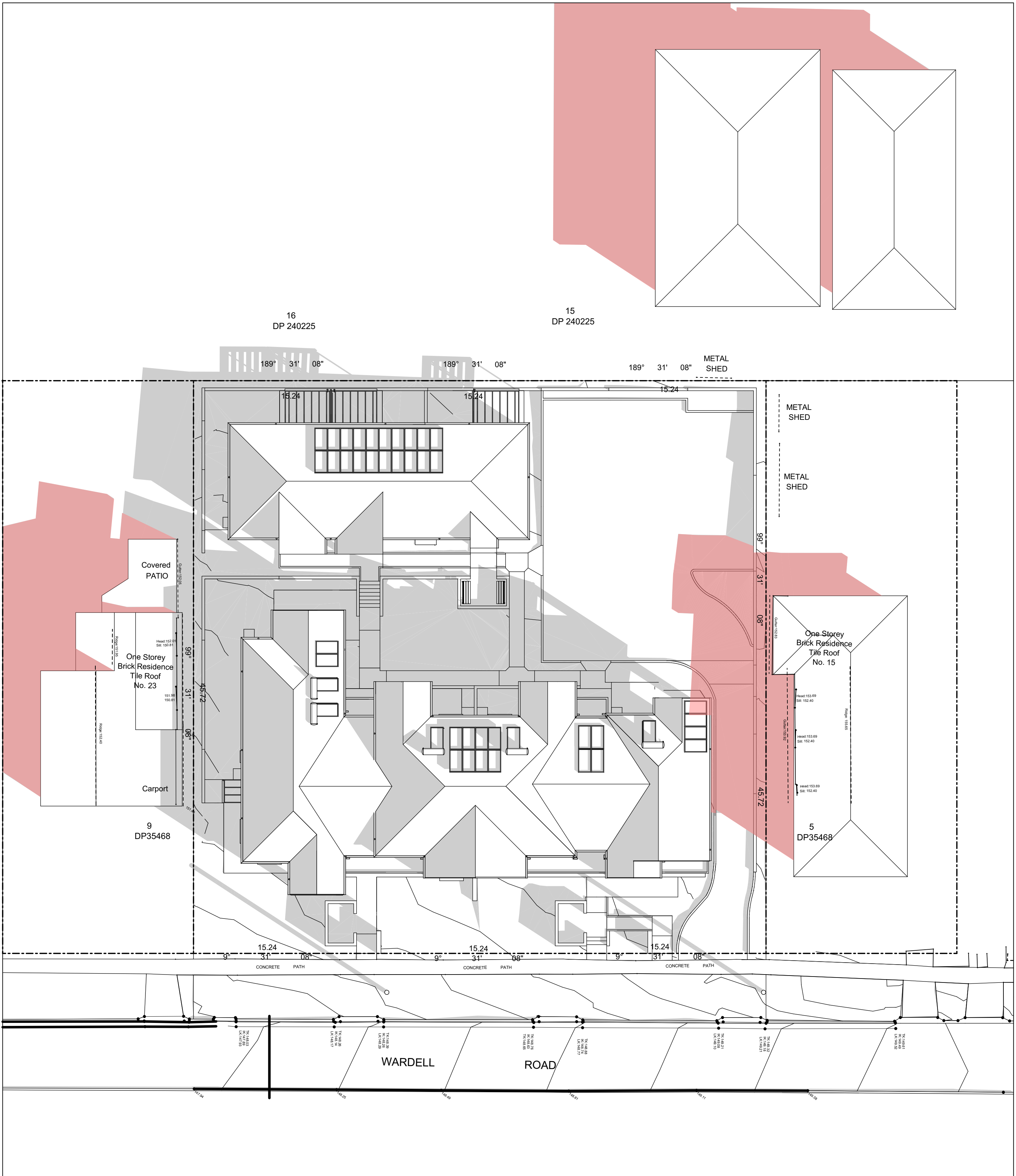
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#### LEGEND

Grey area indicates shadows cast by proposed development

Red area indicates existing shadows cast by neighbouring properties



1  
-

SHADOW DIAGRAM - 9AM  
1:200



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land-and-housing-corporation



NOMINATED ARCHITECTS:

Daniel Donal  
NSW ARB No.9068

Member  
Australian Institute of Architects

| REV | DATE       | NOTATION/AMENDMENT  |
|-----|------------|---------------------|
| P3  | 18/08/2023 | DA                  |
| P2  | 13/07/2023 | DRAFT DA FOR REVIEW |
| P1  | 15/06/2023 | DRAFT DA FOR REVIEW |
| REV | DATE       | NOTATION/AMENDMENT  |

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Land & Housing Corporation  
NORTHERN NSW REGION

PROJECT:  
SENIORS HOUSING DEVELOPMENT  
at  
Lots 6, 7 & 8 in DP 35468  
17-21 Wardell Rd Alstonville NSW 2477

TITLE:  
SHADOW DIAGRAM - JUNE 21 9am

FILE: CAD File: BIMcloud: TeamWorkPC - BIMcloud  
Basic: for Archicad 26/2022.033 LAHC: Wardell  
Rd, Alstonville SK03.CC3

PLOTTED: 18/08/2023  
12:40 PM

STATUS: DETAILED SKETCH

| DATE       | SCALE         | PROJ    | JOB       |
|------------|---------------|---------|-----------|
| 18/08/2023 | As shown @ A1 | BGZDW   | 2022.033  |
| STAGE      | DRAWN         | CHECKED | CERTIFIER |
| B          | SD            | DD      | DD        |

TYPE:  
A

SHEET:  
12 of 17

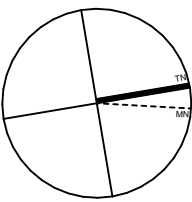
REV:  
P3

0 5 10 20 40MM

SCALE FOR PRINTING

PURPOSE ONLY

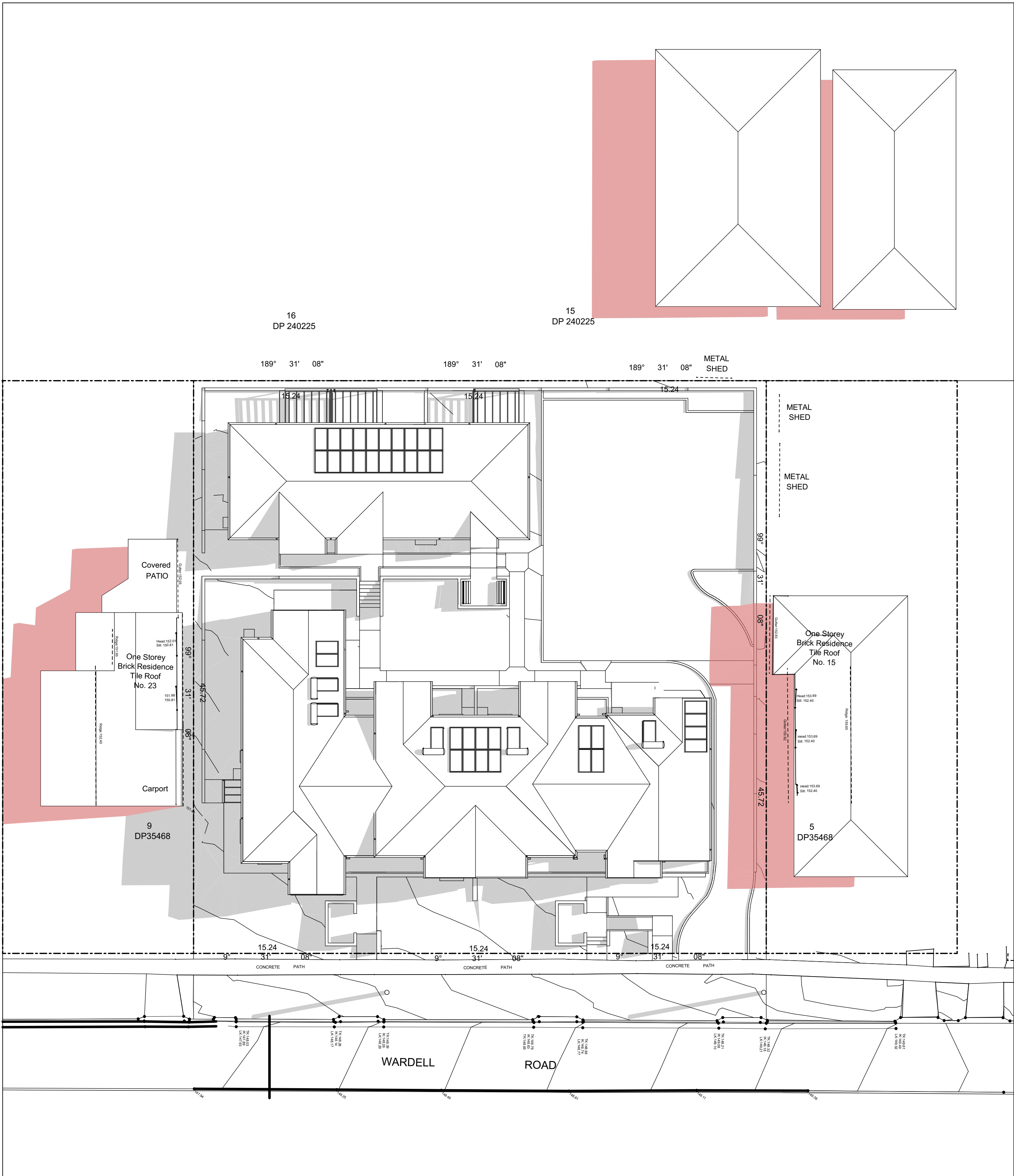
1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
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#### LEGEND

Grey area indicates shadows cast by proposed development

Red area indicates existing shadows cast by neighbouring properties



1  
-

SHADOW DIAGRAM - 12PM  
1:200



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NOMINATED ARCHITECTS:

Daniel Donal  
NSW ARB No. 9068



| REV | DATE       | NOTATION/REMARKS    |
|-----|------------|---------------------|
| P3  | 18/08/2023 | DA                  |
| P2  | 13/07/2023 | DRAFT DA            |
| P1  | 15/06/2023 | DRAFT DA FOR REVIEW |
| REV | DATE       | NOTATION/REMARKS    |

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Land & Housing Corporation  
NORTHERN NSW REGION

PROJECT:  
SENIORS HOUSING DEVELOPMENT  
at  
Lots 6, 7 & 8 in DP 35468  
17-21 Wardell Rd Alstonville NSW 2477

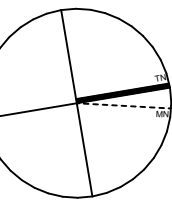
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| SHADOW DIAGRAM - JUNE 21 12 noon                                                                                             |  | DETAILED SKETCH                 |  | 18/08/2023 |  | As shown @ A1 |  | BGZDW    |  | 2022.033   |  |
| FILE: CAD File: BIMcloud: TeamWorkPC - BIMcloud<br>Basic: for Archicad 26/2022.033 LAHC: Wardell<br>Rd, Alstonville SK03.CC3 |  | PLOTTED: 18/08/2023<br>12:40 PM |  | TYPE:      |  | SHEET:        |  | CHECKED: |  | CERTIFIER: |  |
|                                                                                                                              |  |                                 |  | A          |  | 13 of 17      |  | DD       |  | P3         |  |

0 5 10 20 40MM

SCALE FOR PRINTING

PURPOSE ONLY

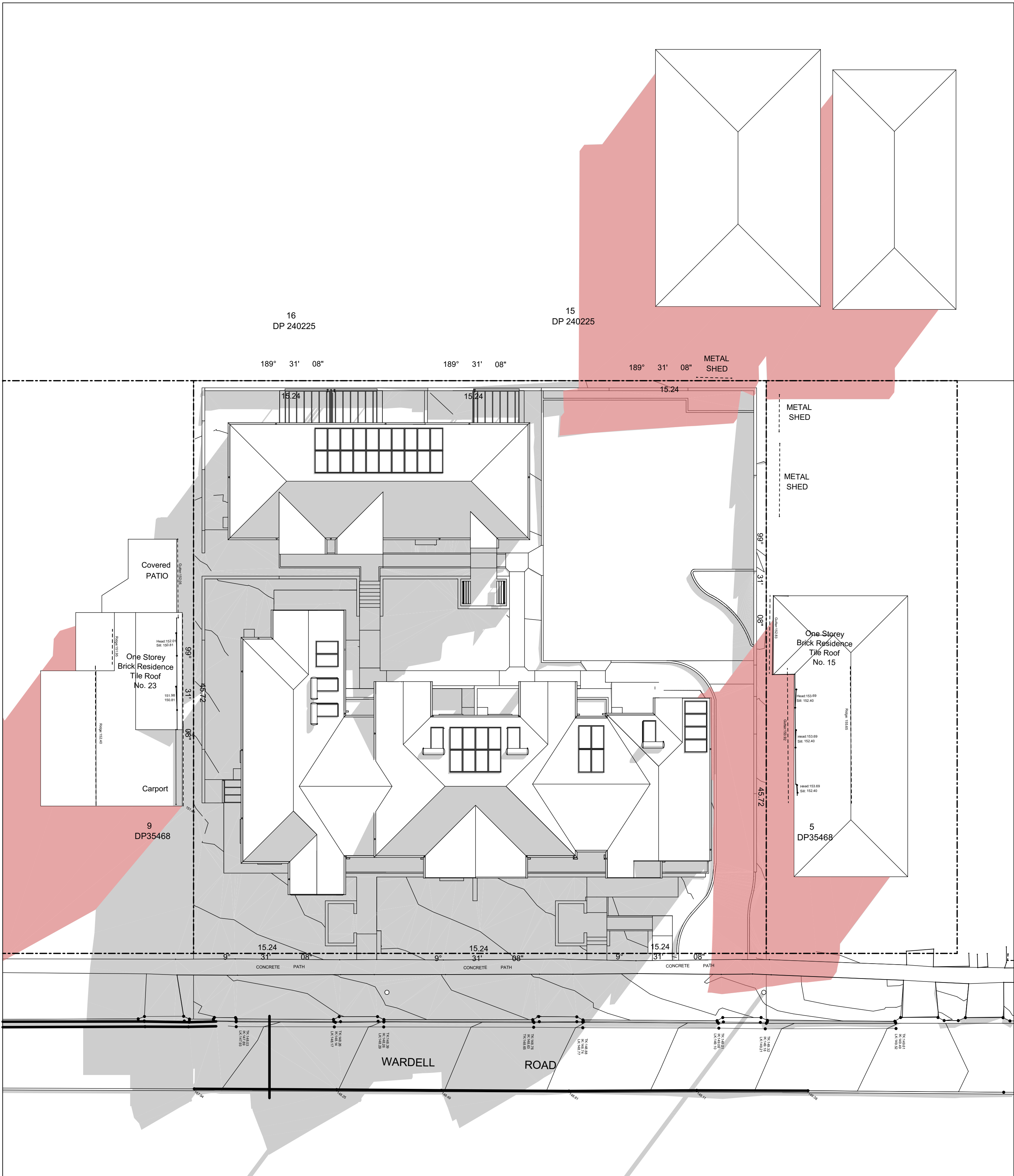
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#### LEGEND

Grey area indicates shadows cast by proposed development

Red area indicates existing shadows cast by neighbouring properties



1  
-

SHADOW DIAGRAM - 3PM  
1:200



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NOMINATED ARCHITECTS:

Daniel Donal  
NSW ARB No.9068

Member  
Architects Institute of Australia

| REV | DATE       | NOTATION/REMARKS    |
|-----|------------|---------------------|
| P3  | 18/08/2023 | DA                  |
| P2  | 13/07/2023 | DRAFT DA            |
| P1  | 15/06/2023 | DRAFT DA FOR REVIEW |
| REV | DATE       | NOTATION/REMARKS    |

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Land & Housing Corporation  
NORTHERN NSW REGION

PROJECT:  
SENIORS HOUSING DEVELOPMENT  
at  
Lots 6, 7 & 8 in DP 35468  
17-21 Wardell Rd Alstonville NSW 2477

TITLE:  
SHADOW DIAGRAM - JUNE 21 3pm  
FILE: CAD File: BIMcloud: TeamWorkPC - BIMcloud  
Basis: for Archicad 26/2022.033 LAHC: Wardell  
Rd, Alstonville SK03.CC3

STATUS: DETAILED SKETCH  
DATE: 18/08/2023  
SCALE: As shown @ A1  
STAGE: B  
DRAWN: SD  
CHECKED: DD  
CERTIFIER: DD  
JOB: BGZDW  
2022.033  
REV: DD  
TYPE: A  
SHEET: 14 of 17  
REV: P3



SHADOW ELEVATION - 9AM  
1:200



SHADOW ELEVATION - 12PM  
1:200



SHADOW ELEVATION - 3PM  
1:200

0 5 10 20 40MM

SCALE FOR PRINTING

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**Certificate No. 0008991880**

Scan QR code or follow website link for rating details.

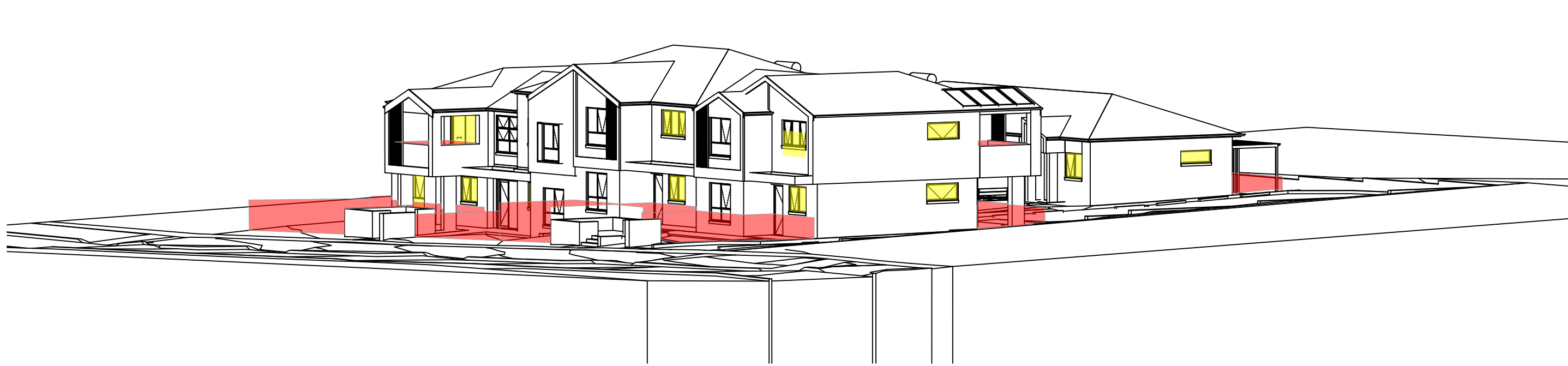
Assessor name: Dean Gorman

Accreditation No: DMN/13/1645

Property Address: Unit 1, 17-21 Wardell Road, Alstonville NSW 2477

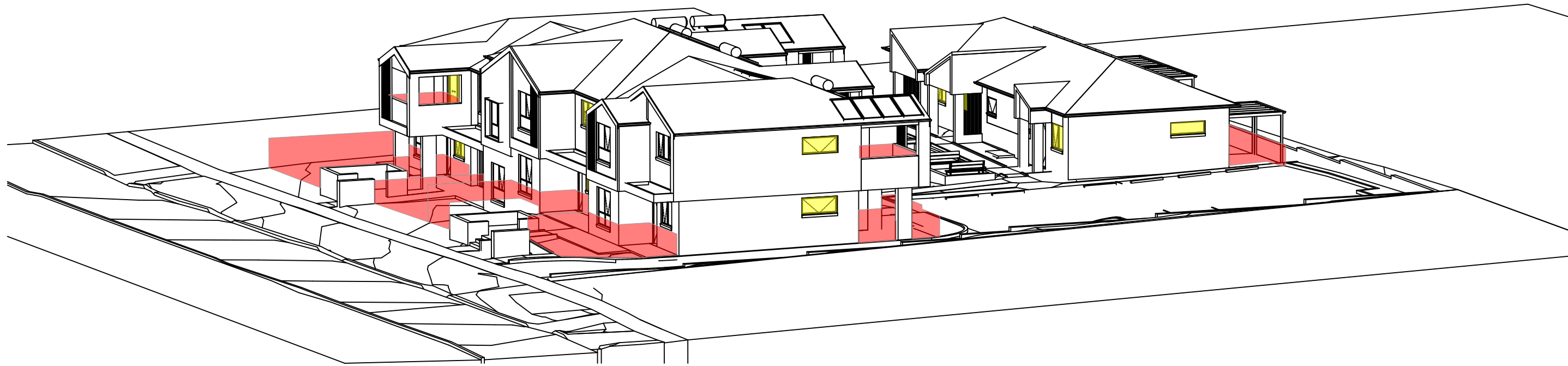
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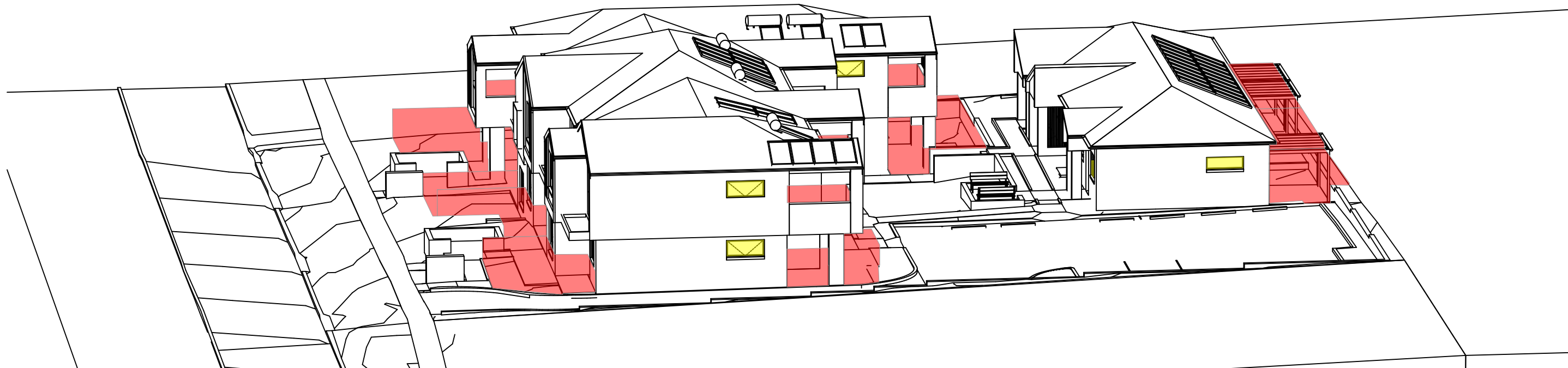
1  
-

VIEW FROM SUN - 9AM  
1:200



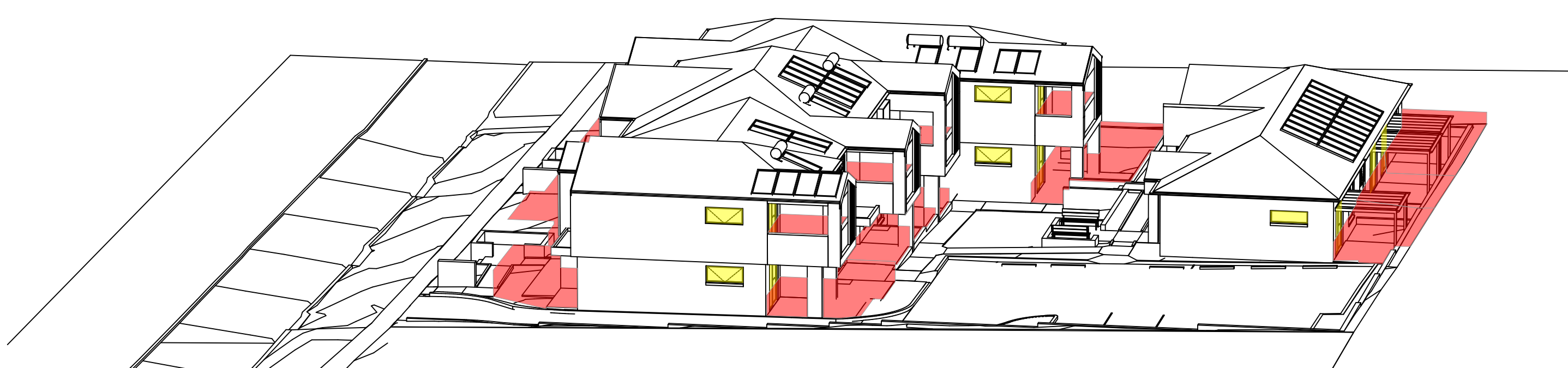
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VIEW FROM SUN - 10AM  
1:200



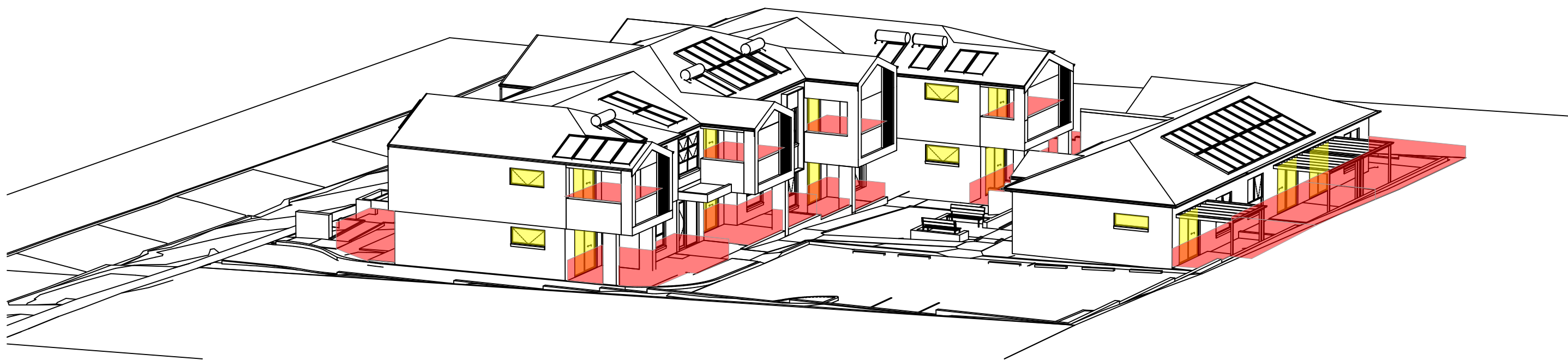
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VIEW FROM SUN - 11AM  
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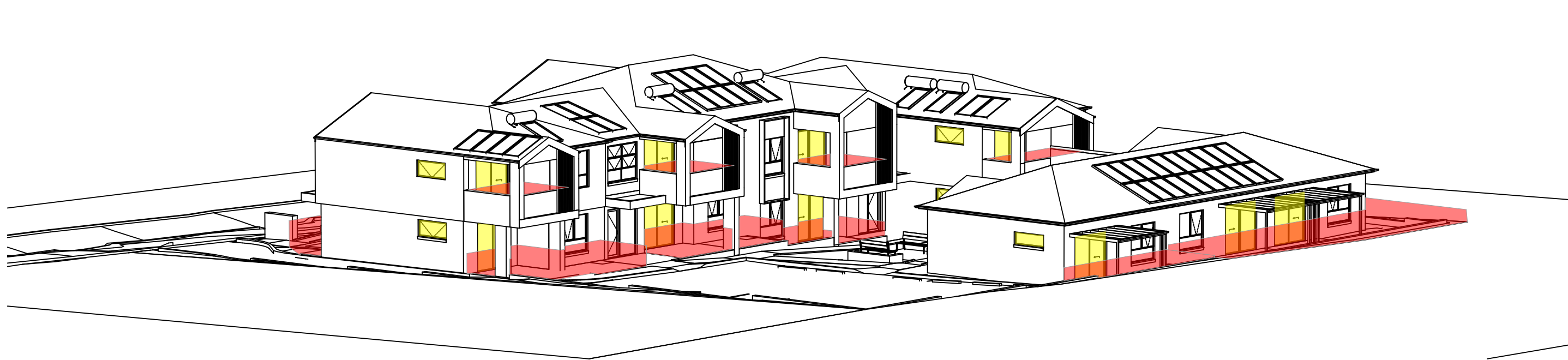
4  
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VIEW FROM SUN - 12PM  
1:200



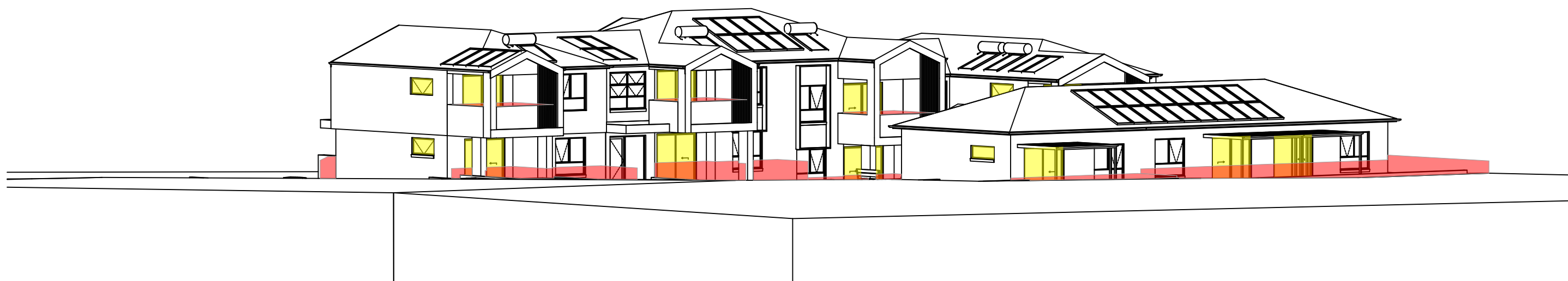
5  
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VIEW FROM SUN - 1PM  
1:200



6  
-

VIEW FROM SUN - 2PM  
1:200



7  
-

VIEW FROM SUN - 3PM  
1:200

#### Solar Access to Living Rooms

| Unit Number | 9-10 am | 10-11 am | 11-12 pm | 12-1 pm | 1-2 pm | 2-3 pm | Hours |
|-------------|---------|----------|----------|---------|--------|--------|-------|
| 1           |         |          |          |         |        |        | 1     |
| 2           |         |          |          |         |        |        | 2     |
| 3           |         |          |          |         |        |        | 2     |
| 4           |         |          |          |         |        |        | 1     |
| 5           |         |          |          |         |        |        | 4     |
| 6           |         |          |          |         |        |        | 2     |
| 7           |         |          |          |         |        |        | 3.5   |
| 8           |         |          |          |         |        |        | 6     |
| 9           |         |          |          |         |        |        | 3.5   |
| 10          |         |          |          |         |        |        | 6     |
| 11          |         |          |          |         |        |        | 3.5   |
| 12          |         |          |          |         |        |        | 3.5   |
| 13          |         |          |          |         |        |        | 6     |

#### Solar Access to Private Open Space

| Unit Number | 9-10 am | 10-11 am | 11-12 pm | 12-1 pm | 1-2 pm | 2-3 pm | Hours |
|-------------|---------|----------|----------|---------|--------|--------|-------|
| 1           |         |          |          |         |        |        | 2     |
| 2           |         |          |          |         |        |        | 2     |
| 3           |         |          |          |         |        |        | 5     |
| 4           |         |          |          |         |        |        | 2     |
| 5           |         |          |          |         |        |        | 4     |
| 6           |         |          |          |         |        |        | 3     |
| 7           |         |          |          |         |        |        | 6     |
| 8           |         |          |          |         |        |        | 6     |
| 9           |         |          |          |         |        |        | 4     |
| 10          |         |          |          |         |        |        | 5     |
| 11          |         |          |          |         |        |        | 4     |
| 12          |         |          |          |         |        |        | 4     |
| 13          |         |          |          |         |        |        | 6     |



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NOMINATED ARCHITECTS:

Daniel Donal  
NSW ARB No.9068



| REV                                                                                      | DATE       | NOTATION/AMENDMENT |
|------------------------------------------------------------------------------------------|------------|--------------------|
| P3                                                                                       | 18/08/2023 | DA                 |
| P2                                                                                       | 13/07/2023 | DRAFT DA           |
| REV                                                                                      | DATE       | NOTATION/AMENDMENT |
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Land & Housing Corporation  
NORTHERN NSW REGION

BUSINESS PARTNER:  
PROJECT:  
SENIORS HOUSING DEVELOPMENT  
at  
Lots 6, 7 & 8 in DP 35468  
17-21 Wardell Rd Alstonville NSW 2477

TITLE:  
VIEW FROM SUN DIAGRAMs

FILE: CAD File: BIMcloud: TeamWorkPC - BIMcloud  
Basic: for ArchiCAD 26/2022 033 LAHC Wardell Rd, Alstonville SK03.CC3  
PLOTTED: 18/08/2023 12:40 PM  
TYPE: A  
SHEET: 16 of 17  
REV: P3

STATUS: DETAILED SKETCH  
DATE: 18/08/2023  
SCALE: As shown @ A1  
STAGE: B  
DRAWN: SD  
CHECKED: DD  
JOB: BGZDW  
2022.033  
CERTIFIER: DD  
REV: DD

